

TROUP COUNTY COURTHOUSE REROOFING

TROUP COUNTY BOARD OF COMMISSIONERS
100 RIDLEY AVENUE LAGRANGE, GA 30240

CONSTRUCTION DOCUMENTS

30 JUNE 2021

2WR # 20-689



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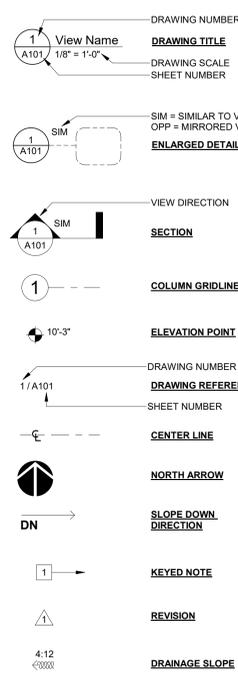
Sheet Description

COVER SHEET

Sheet Number

T1.1

| ABBREVIATIONS | ARCHITECTURAL SYMBOLS |
|------------------------------|-----------------------|
| @ Above | DRAWING NUMBER |
| ABV Adjacent | DRAWING TITLE |
| AFF Above Finished Floor | DRAWING SCALE |
| ALT Alternate | SHEET NUMBER |
| ALUM Aluminum | |
| APPROX Approximately | |
| ARCH Architect/Architectural | |
| AVG Average | |
| BD Board | |
| BLDG Building | |
| BLKG Blocking | |
| B.O Bottom of | |
| BOS Bottom of Step | |
| BOT Bottom | |
| BSMT Basement | |
| CF Cubic Feet | |
| CIP Cast in Place | |
| CJ Control Joint | |
| Construction Joint | |
| CL Center Line | |
| CLR Chair | |
| CM Construction Manager | |
| COL Column | |
| CONC Concrete | |
| CONST Construction | |
| CONT Continuous | |
| COORD Coordinate | |
| CT Ceramic Tile | |
| CTR Center | |
| D Deep or Depth | |
| DBL Double | |
| DEMO Demolish | |
| DET Detail | |
| DIA Diameter | |
| DIAG Diagonal | |
| DN Dimension | |
| DN Down | |
| DWG Drawing | |
| EA Each | |
| EJ Expansion Joint | |
| ELEV Elevation | |
| ELEC Electric or Electrical | |
| ELEV Elevator | |
| ENG Engineer | |
| EQ Equal | |
| EQUIP Equipment | |
| EXIST Existing | |
| EW Equal Width | |
| EXT Exterior | |
| FA Fire Alarm | |
| FDN Foundation | |
| FFE Finished Floor Elevation | |
| FIN Finish | |
| FLR Floor | |
| FT Foot or Feet | |
| FUR Furred or Furring | |
| GA Gauge | |
| GALV Galvanized(d) | |
| GC General Contractor | |
| GEN General | |
| HC Hollow Core | |
| HOR Horizontal | |
| H Height | |
| HVAC Heating, Vent. & A/C | |
| IN Inch | |
| INCL Included/ing | |
| INFO Information | |
| INSUL Insulation | |
| INT Interior | |
| JST Joist | |
| JT Joint | |
| LBS Pounds | |
| LF Linear Feet | |
| LOC Location | |
| MACH Machine | |
| MAINT Maintenance | |
| MAT Material | |
| MAX Maximum | |
| MECH Mechanical | |
| MFR Manufacturer | |
| MIN Minimum or Minute | |
| MISC Miscellaneous | |
| MTD Mounted | |
| MTL Metal | |
| N/A Not Applicable | |
| N.I.C. Not in Contract | |
| NOM Nominal | |
| NO Number | |
| NTS Not to Scale | |
| O.C. On Center | |
| OD Outside Diameter | |
| OPP Opposite | |
| OZ Ounce | |
| PERF Perforated | |
| PERIM Perimeter | |
| PH Partial Height | |
| PLAM Plastic Laminate | |
| PLUM Plumbing | |
| PLWD Plywood | |
| PREFAB Prefabricated | |
| PSF Pounds Per Square Foot | |
| PSI Pounds Per Square Inch | |
| PT Pressure Treated | |
| PTD Painted | |
| PVC Poly Vinyl Chloride | |
| QTY Quantity | |
| R Radius | |
| RD Roof Drain, Road | |
| REINF Reinforced | |
| REQD Required | |
| REV Revision | |
| R.O. Rough Opening | |
| SC Solid Core | |
| SCHED Schedule | |
| SEC Section | |
| SF Square Feet | |
| SHT Sheet | |
| SIM Similar | |
| SPEC Specification | |
| SS Stainless Steel | |
| SQ Square | |
| STD Standard | |
| STRUCT Structural | |
| SYS System | |
| TEL Telephone | |
| THRU Through | |
| THK Thick | |
| T.O.S. Top of Steel | |
| TYP Typical | |
| U.N.O. Unless Noted | |
| Otherwise | |
| UTIL Utility | |
| VAR Variable | |
| VERT Vertical | |
| VEST Vestibule | |
| V.I.F. Verify in Field | |
| VOL Volume | |
| W/ With | |
| W/O With Out | |
| WD Wood | |
| WT Weight | |



GENERAL NOTES

USE OF CONTRACT DOCUMENTS

- DRAWINGS AND SPECIFICATIONS OF ALL DISCIPLINES INCLUDED HEREIN CONSTITUTE THE FULL SCOPE OF THIS PROJECT. THESE DOCUMENTS ARE INTENDED TO ESTABLISH THE FULL CONTRACTUAL OBLIGATION OF THE GENERAL CONTRACTOR TO COMPLETE THE WORK SHOWN AND SPECIFIED. IT SHALL BE THE GENERAL CONTRACTOR'S ULTIMATE RESPONSIBILITY TO COORDINATE THE PROPOSALS AND WORK OF ALL TRADES.
- ARCHITECTURAL AND ENGINEERING DRAWINGS ARE COMPLEMENTARY. ITEMS INDICATED ON ARCHITECTURAL DRAWINGS SHALL BE PROVIDED WHETHER OR NOT THEY ARE INDICATED ON AND/OR COORDINATED WITH CONSULTANTS' DRAWINGS. ANY CONFLICTS BETWEEN ARCHITECTURAL AND ENGINEERING WORK SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- CONTRACTORS SHALL COORDINATE THE SCOPE OF THEIR WORK WITH THE CONTRACT DOCUMENTS. PLANS AND SPECIFICATIONS SHALL NOT BE SEPARATED. NO CLAIMS FOR EXTRAS WILL BE CONSIDERED DUE TO SUB-CONTRACTOR NOT RELATING SCOPE OF WORK TO CONTRACT DOCUMENTS.
- ALL WORK IS TO BE IN STRICT COMPLIANCE WITH ALL STATE LAWS AND CODES WHICH APPLY TO THIS USE AND TO GENERALLY ACCEPTED CONSTRUCTION TRADE PRACTICES.
- THE ARCHITECT WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.
- SECTIONS AND DETAILS CONTAINED IN THE CONTRACT DOCUMENTS ARE TYPICAL. CONTRACTOR IS RESPONSIBLE FOR PROVIDING COMPONENTS AND/OR CONSTRUCTION NOTED OR INDICATED IN OTHER SIMILAR AREAS OF THE PROJECT IF THEY CAN BE REASONABLY INFERRED TO BE A PART OF THE ASSEMBLY BASED ON OTHER SIMILAR DETAILS CONTAINED WITHIN THE CONTRACT DOCUMENTS.
- NOT ALL COMPONENTS IN EACH DETAIL MAY BE SPECIFICALLY CALLED OUT ON THAT PARTICULAR ARCHITECTURAL DETAIL. CONTRACTOR SHALL STILL BE RESPONSIBLE FOR PROVIDING THESE ITEMS IF THEY CAN BE REASONABLY INFERRED TO BE A PART OF THE ASSEMBLY BASED ON OTHER SIMILAR DETAILS CONTAINED WITHIN THE CONTRACT DOCUMENTS.
- DO NOT SCALE ANY DRAWINGS TO DETERMINE DIMENSIONS. RELY ONLY ON FIELD MEASUREMENT AND WRITTEN DIMENSIONS FOR NEW WORK.
- ALL DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO PROCEEDING WITH THE WORK OF THIS CONTRACT. ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND CONTRACT DOCUMENTS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- "SCALE" INDICATED ON THE ELEVATIONS MAY NOT BE REPRESENTATIVE OF A SCALED DRAWING. THE CONTRACTOR SHALL MAKE FIELD MEASUREMENTS AS REQUIRED TO ASCERTAIN THE EXTENT AND QUANTITY OF WORK TO BE PERFORMED.
- SUBCONTRACTORS SHALL INVESTIGATE ALL EXISTING CONDITIONS ASSOCIATED WITH THEIR SCOPE OF WORK AND VERIFY REQ'D QUANTITIES OF MATERIALS PRIOR TO PROVIDING A BID TO THE GENERAL CONTRACTOR. NO CHANGE ORDERS WILL BE GRANTED FOR ADDITIONAL WORK REQ'D WHICH IS EVIDENT FROM FIELD INVESTIGATION AND IS CONSISTENT WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- SUBCONTRACTORS SHALL VERIFY REQ'D QUANTITIES OF MATERIALS WITH THE GENERAL CONTRACTOR PRIOR TO PURCHASING. NO CHANGE ORDERS WILL BE GRANTED FOR ADDITIONAL QUANTITIES OR DETAIL WORK REQ'D WHICH IS EVIDENT FROM FIELD CONDITIONS AND IS CONSISTENT WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- ANY WORK INSTALLED IN CONFLICT WITH THE CONTRACT DOCUMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE AND AT NO ADDITIONAL EXPENSE TO THE OWNER, ARCHITECT, OR CONSULTANTS.

CONTRACTOR RESPONSIBILITY

- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PERMITS AND INSPECTIONS.
- CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS AND FEES REQUIRED, NOT NORMALLY COVERED BY THE BUILDING PERMIT.
- THE CONTRACTOR SHALL FILE ALL NECESSARY CERTIFICATES OF INSURANCE, PAY ALL FEES, AND OBTAIN ANY AND ALL BONDS REQUIRED BY ANY AGENCY IN ORDER TO DO THE WORK HEREIN DESCRIBED.
- THE CONTRACTOR SHALL REMOVE FROM THE SITE AND DISPOSE OF ALL TRASH, DEBRIS AND CONSTRUCTION MATERIALS DUE TO CONSTRUCTION OR DEMOLITION PRIOR TO COMPLETION OF THE WORK. THE CONTRACTOR SHALL LEAVE THE SITE IN A CONDITION EQUAL TO OR BETTER THAN IT WAS BEFORE COMMENCEMENT OF WORK ON THIS CONTRACT. THE CONTRACTOR SHALL ALSO ENSURE THAT TRASH AND DEBRIS ARE NOT BLOWN OR SPREAD ON OR OFF SITE DURING PERFORMANCE OF THE WORK.
- THE CONTRACTOR SHALL RESTRICT ACCESS TO THE ROOF TO ONLY THOSE FORCES NEEDING ACCESS TO THE ROOF IN ORDER TO COMPLETE THEIR WORK. FINISHED ROOF SURFACES ARE TO BE PROTECTED AT ALL TIMES.
- THE CONTRACTOR SHALL LIMIT HIS WORK AND FORCES UNDER HIS CONTROL TO ONLY THOSE AREAS OF WORK AS DEFINED BY THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL PROVIDE CRAFTSMAN-LIKE INSTALLATION AND FINISH OF ALL EXPOSED CONSTRUCTION SYSTEMS.
- PAINT ALL EXPOSED SCHEDULED PIPING, CONDUIT AND MECHANICAL EQUIPMENT IN AREAS NOTED TO BE PAINTED.
- THE CONTRACTOR SHALL REPAIR AT HIS EXPENSE DAMAGE TO ANY FINISHES TO REMAIN WHICH ARE INCURRED DURING WORK ON THIS CONTRACT.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK. ALL OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER.

NEW CONSTRUCTION

- ALL WOOD IN CONTACT WITH CONCRETE, ROOFING, OR WATERPROOFING SHALL BE PRESSURE TREATED WITH AN APPROVED PRESERVATIVE.
- ALL INSULATIONS NOTED ON PLANS SHALL BE NONCOMBUSTIBLE AND MAINTAIN THERMAL AND MOISTURE PROTECTION AS NOTED IN THE SPECIFICATIONS.

DEMOLITION AND DECONSTRUCTION

- ALL DEMOLITION WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE LATEST EDITION OF NFPA 241, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS.
- THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIER AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL APPLICABLE CODES.
- CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.
- CONTRACTOR SHALL COORDINATE SEQUENCE OF DEMOLITION WITH PHASES OF CONSTRUCTION AGREED TO WITH OWNER AND ARCHITECT. COORDINATE ALL DEMOLITION WITH NEW CONSTRUCTION DRAWINGS.
- CONTRACTOR SHALL COORDINATE EXTENT OF DEMOLITION WITH OTHER DRAWINGS IN THIS SET. NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH DEMOLITION IN CASE OF A CONFLICT.
- DRAWINGS OF EXISTING CONDITIONS HAVE BEEN DERIVED FROM VISUAL INVESTIGATION AND EXISTING DRAWINGS PROVIDED BY THE OWNER. THE ARCHITECT MAKES NO WARRANTY, EITHER EXPRESSED OR IMPLIED, FOR THE ACCURACY OR COMPLETENESS OF THE EXISTING INFORMATION RECORDED.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS. NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD PRIOR TO DEMOLITION. DIMENSIONS INDICATED ON DEMOLITION PLAN ARE FOR REFERENCE ONLY.
- IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR ENCOUNTERS MATERIALS THAT ARE SHOWN AS EXISTING TO REMAIN WHICH HAVE ROT, TERMITE DAMAGE OR OTHER HIDDEN PROPERTIES WHICH REQUIRE ATTENTION, THE ARCHITECT SHALL IMMEDIATELY BE NOTIFIED PRIOR TO PROCEEDING WITH THE WORK IN THE AREA OF DISCOVERY.
- ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED PER ALL APPLICABLE CODES.
- CONTACT ARCHITECT IMMEDIATELY, IF DURING THE COURSE OF DEMOLITION, CIRCUMSTANCES ARE ENCOUNTERED IN WHICH THE EXTENT OR INTENT OF DEMOLITION INDICATED IN THE CONTRACT DOCUMENTS IS UNCLEAR. DO NOT PROCEED WITH DEMOLITION IN THESE AREAS IN QUESTION UNTIL CLARIFICATION IS GIVEN BY ARCHITECT.
- ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.
- NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF THE DEMOLITION.
- ALL EXISTING PENETRATIONS FOR BUILDING SYSTEMS NOT BEING RE-USED SHALL BE DEMOLISHED AND HOLES INFILLED TO MATCH ADJACENT CONSTRUCTION.
- THE INTENT OF THESE DRAWINGS IS NOT TO DISTURB ANY EXISTING STRUCTURAL FRAMING OR SUPPORT IN OR ON ANY EXISTING STRUCTURE TO REMAIN UNLESS SPECIFICALLY NOTED OTHERWISE.
- WHERE EXISTING MATERIALS/FINISHES ARE DISTURBED BY WORK OF THIS PROJECT, CUT, PATCH, AND REPAIR THOSE AREAS AS REQUIRED TO MATCH THE ADJACENT EXISTING MATERIALS/FINISHES IN CONFIGURATION, TEXTURE, COLOR, ETC., WITH SMOOTH AND LEVEL TRANSITION UNLESS OTHERWISE NOTED.
- CUTTING AND PATCHING WILL BE REQUIRED AS NECESSARY FOR BOTH THE INSTALLATION OF NEW ITEMS AND DUE TO THE REMOVAL OF EXISTING ITEMS. CONTRACTOR SHALL COORDINATE THIS WORK.
- EXISTING STRUCTURAL ITEMS - DO NOT CUT, DRILL, NOTCH, OR MODIFY WITHOUT SPECIFIC, PRIOR APPROVAL OF ARCHITECT/STRUCTURAL ENGINEER.

VICINITY MAP:

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GENERAL NOTES & LEGENDS

Sheet Number

T1.2



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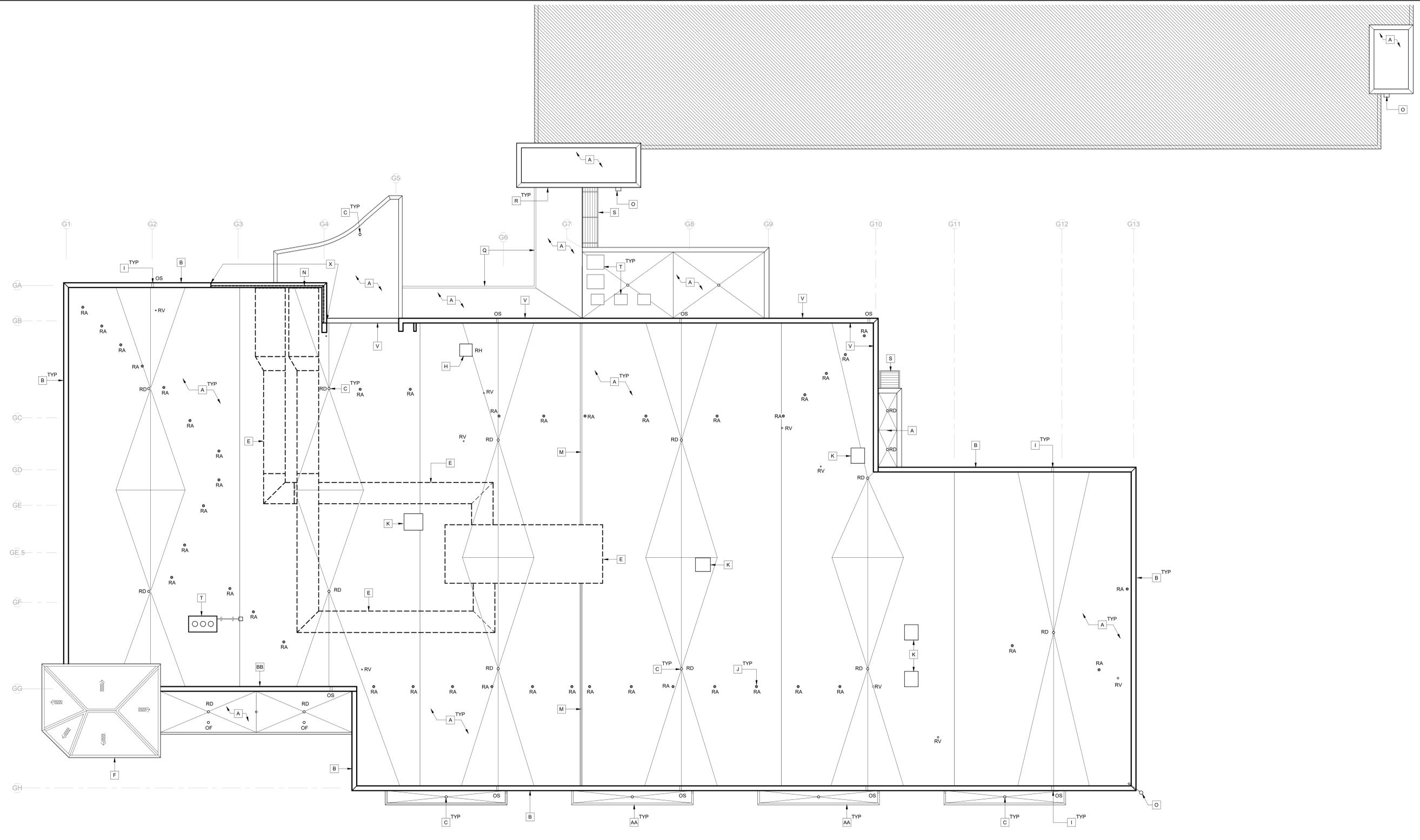
GOVERNMENT CENTER DEMOLITION ROOF PLAN

Sheet Number

D1.1

PRINTED: 7/20/2021 10:22:36 AM

FILE PATH: C:\Users\jstall\Documents\20-689 Troup County Courthouse Reroofing V21_eis@2wpartners.com.nt



GOVERNMENT CENTER DEMOLITION ROOF PLAN
1
D1.1 SCALE: 3/32" = 1'-0"

GENERAL DEMOLITION NOTES

- ALL DEMOLITION WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE LATEST EDITION OF NFPA 241, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS.
- DRAWINGS ARE BASED ON PARTIAL PLANS PROVIDED BY OWNER AND UPON FIELD OBSERVATION.
- FIELD VERIFY CURB CONDITIONS FOR EXISTING EQUIPMENT TO REMAIN. EQUIPMENT CURB FRAMING AND FLASHINGS TO BE PROTECTED, REUSED, AND UNDAMAGED TO THE GREATEST EXTENT POSSIBLE. REMOVAL OF EQUIPMENT SHOULD ONLY OCCUR WHERE NEW CURB AND FLASHING IS REQUIRED PER ROOFING MANUFACTURER'S WRITTEN SPECIFICATIONS TO ACHIEVE SPECIFIED WARRANTY. NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO BEGINNING NEW WORK.
- ELECTRICAL, PLUMBING, GAS PIPING, AND OTHER MECHANICAL STUB UP PENETRATIONS NOT SHOWN FOR CLARITY. CONTRACTOR SHALL FIELD VERIFY THE QUANTITY NEEDED FOR NEW ROOFING.
- COORDINATE REMOVAL AND REINSTALLATION OF ROOF TOP STRUCTURES AND EQUIPMENT WITH OTHERS AS REQUIRED TO INSTALL NEW ROOF SYSTEM.
- REMOVE ALL EXISTING COPING TO FACILITATE INSTALLATION OF NEW ROOFING.
- REPLACE ANY DAMAGED WOOD AS REQUIRED FOR PROPER ANCHORING OF NEW ROOFING SYSTEM AND NEW METAL COPING.
- COORDINATE WITH OWNER THE RELOCATION OF FURNISHINGS THAT COULD BE DISTURBED DURING NEW WORK CONSTRUCTION.
- ALUMINUM CANOPIES ARE NOT INCLUDED IN THE SCOPE OF THIS PROJECT AND ARE TO BE PROTECTED DURING ALL PHASES OF DEMOLITION AND NEW CONSTRUCTION.
- PROTECT INTERIOR BUILDING ELEMENTS WHILE EXTERIOR DEMOLITION AND NEW CONSTRUCTION OCCUR. PROTECTION FROM WEATHER AND CONSTRUCTION RELATED DAMAGES SHALL BE IN PLACE TO MINIMIZE IMPACT TO INTERIOR SPACES THAT ARE NOT PART OF THE PROJECT SCOPE.
- PROTECT FROM DAMAGE ALL BUILDING COMPONENTS AND FINISHES THAT ARE EXISTING TO REMAIN.
- IF LIGHTING PROTECTION MUST BE MOVED OR TEMPORARILY DISCONNECT TO ALLOW FOR INSTALLATION OF NEW ROOFING, IT SHALL BE THE RESPONSIBILITY OF A LICENSED PROFESSIONAL TO PERFORM THE WORK.
- EXISTING VENTS, EQUIPMENT, AND OTHER ROOFTOP PENETRATIONS TO REMAIN. (UNO). REMOVE ANY PIPE BOOTS, FLASHING, AND SEALANTS AROUND EQUIPMENT. RAISE AS REQUIRED TO RECEIVE NEW ROOFING AND INSULATION SYSTEM.
- EXISTING PLUMBING VENTS AND PIPE PENETRATIONS TO REMAIN (UNO). FLASHING TO BE REMOVED FOR INSTALLATION OF NEW FLASHING. TYP. EXTEND VENTS AS REQUIRED FOR NEW ROOFING SYSTEM.

LEGEND

| | |
|---|------------------------|
| RD | ROOF DRAIN |
| OD | OVERFLOW DRAIN |
| OS | OVERFLOW SCUPPER |
| VTR | VENT THRU ROOF |
| HSV | HOT STACK VENT |
| EF | EXHAUST FAN |
| RH | ROOF HATCH |
| SJ | SPLICE JOINT IN COPING |
| | SLOPE TO DRAIN |
| RA | ROOF ANCHOR |
| GD | GUTTER DRAIN |
| GEJ | GUTTER EXPANSION JOINT |

KEYED CONSTRUCTION NOTES

- | | | |
|---|--|---|
| A REMOVE AND DISPOSE OF EXISTING ROOF SYSTEM DOWN TO DECK. CLEAN AND PREPARE SURFACE TO RECEIVE NEW ROOF SYSTEM. | I EXISTING THROUGH WALL OVERFLOW SCUPPER TO REMAIN. | T EXISTING ROOF MECHANICAL UNITS TO REMAIN. |
| B EXISTING COPPER COPING SYSTEM TO BE REMOVED AND STORED FOR REINSTALLATION AFTER ROOF REPLACEMENT. REPLACE DAMAGED OR UNSUITABLE BLOCKING AS NEEDED. | J ROOF MOUNTED SAFETY ANCHORS TO REMAIN. PROTECT ANCHORS UNTIL COMPLETION OF PROJECT. | U REMOVE AND DISPOSE OF EXISTING LEADER BOX AND DOWNSPOUT SYSTEM. |
| C ROOF DRAIN TO REMAIN. REMOVE AND DISPOSE OF STRAINER BASKET AND REPLACE BROKEN DRAINS COMPONENTS. | K EXISTING ROOFTOP HOOD UNIT TO REMAIN. ADJUST HEIGHT AS REQUIRED TO INSTALL NEW ROOF SYSTEM. | V REMOVE AND DISPOSE OF EXISTING METAL COPING. REPLACE BLOCKING AS REQUIRED. |
| D REMOVE AND DISPOSE OF ROOF ACCESS HATCH. ADJUST HEIGHT AS REQUIRED FOR NEW UNIT AND ROOF SYSTEM. | L DISPOSE OF THRU-WALL SCUPPER AND ALL RELATED ITEMS. | X REPLACE THIS SECTION OF COPING WITH NEW COPPER COPING TO MATCH EXISTING. |
| E REMOVE AND DISPOSE OF EXISTING ENERGY RECOVERY UNIT, MECHANICAL EQUIPMENT, CURBS, AND ALL RELATED ITEMS. INFILL EXISTING ROOF DECK OPENINGS. REFER TO NEW CONSTRUCTION PLANS AND DETAILS FOR ADDITIONAL INFORMATION. | M EXISTING ROOF CONCRETE CURB TO REMAIN. | Y REMOVE AND DISPOSE OF ROOF ACCESS LADDER. |
| F COPPER SHINGLE ROOF SYSTEM TO REMAIN. | N DISPOSE OF EXISTING DECORATIVE ALUMINUM SCREEN AND ALL RELATED ITEMS. | Z EXISTING MECHANICAL DUCTWORK TO REMAIN. DISPOSE OF EXISTING WOOD BLOCKING SUPPORT. |
| G EXISTING COND/UIT/PIPES AND GAS LINES TO REMAIN (UNO). PROTECT IN PLACE. REMOVE AND DISPOSE OF ALL WOOD BLOCKING. | O ROOF CAMERA SYSTEM TO REMAIN. | AA CAST STONE PARAPET TO REMAIN. |
| H EXISTING ROOF HATCH TO BE REMOVED AND STORED FOR REINSTALLATION. MODIFY CURB HEIGHT AS REQUIRED TO ACCOMMODATE NEW FINISHED ROOF ELEVATION. | P REMOVE AND DISPOSE OF EXISTING WATER SUPPLY AND ALL RELATED ITEMS. | BB REMOVE AND STORE CAST STONE COPING FOR REINSTALLATION. |
| | Q EXISTING COPPER GUTTER AND DOWNSPOUT SYSTEM TO BE REMOVED AND STORED FOR REINSTALLATION. | CC DISPOSE OF METAL GUTTER AND DOWNSPOUT SYSTEM. |
| | R EXISTING COUNTERFLASHING TO REMAIN. | |
| | S EXISTING CANOPY SYSTEM TO REMAIN. | |

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Checked By: Checker
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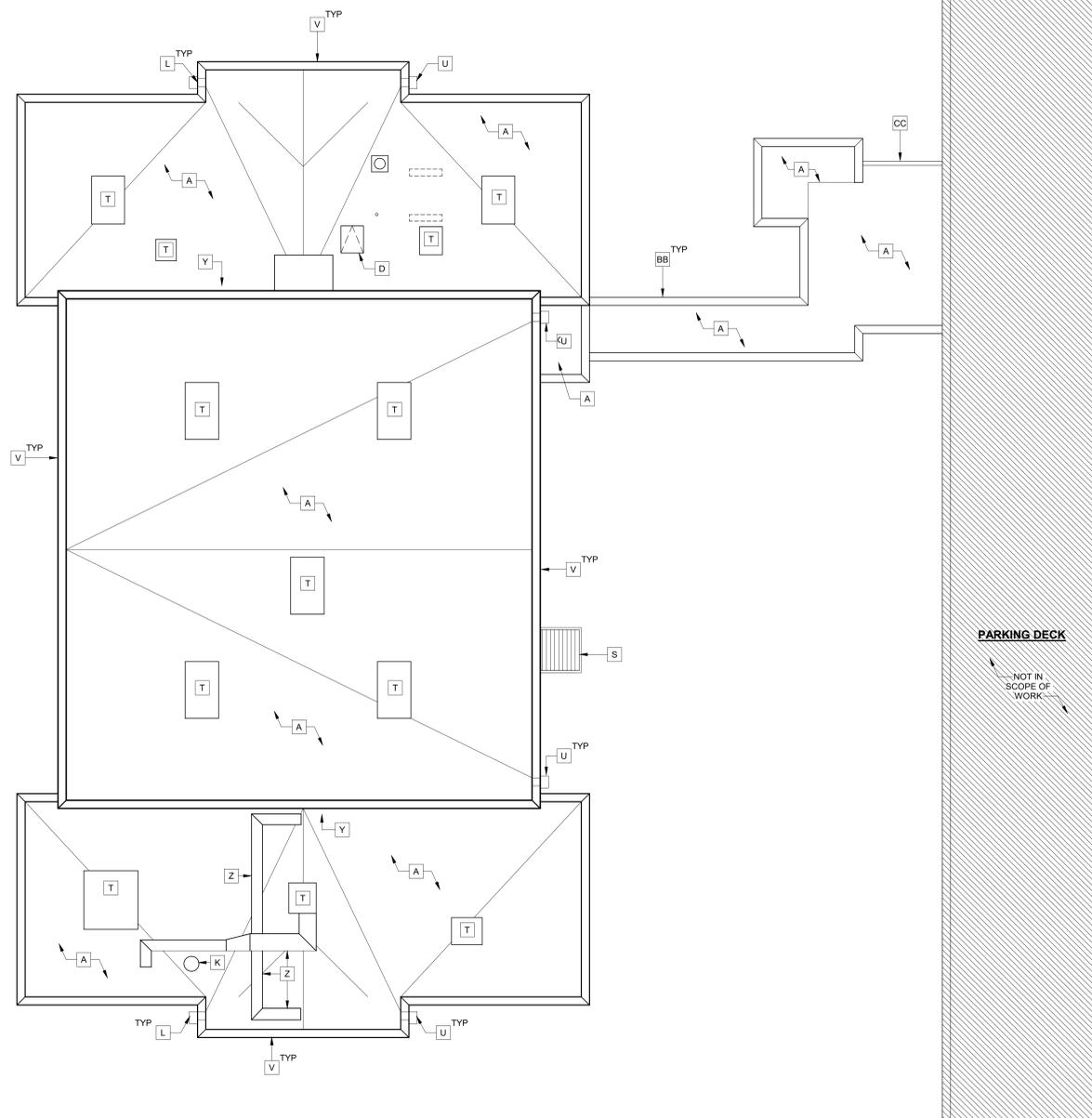
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Sheet Description

JUVENILE COURT DEMOLITION ROOF PLAN

Sheet Number

D1.2



1 NEW CONSTRUCTION ROOF PLAN
D1.2 SCALE: 1/8" = 1'-0"

GENERAL DEMOLITION NOTES

- ALL DEMOLITION WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE LATEST EDITION OF NFPA 241, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS.
- DRAWINGS ARE BASED ON PARTIAL PLANS PROVIDED BY OWNER AND UPON FIELD OBSERVATION.
- FIELD VERIFY CURB CONDITIONS FOR EXISTING EQUIPMENT TO REMAIN. EQUIPMENT CURB FRAMING AND FLASHING TO BE PROTECTED, REUSED, AND UNDAMAGED TO THE GREATEST EXTENT POSSIBLE. REMOVAL OF EQUIPMENT SHOULD ONLY OCCUR WHERE NEW CURB AND FLASHING IS REQUIRED PER ROOFING MANUFACTURER'S WRITTEN SPECIFICATIONS TO ACHIEVE SPECIFIED WARRANTY. NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO BEGINNING NEW WORK.
- ELECTRICAL, PLUMBING, GAS PIPING, AND OTHER MECHANICAL STUB UP PENETRATIONS NOT SHOWN FOR CLARITY. CONTRACTOR SHALL FIELD VERIFY THE QUANTITY NEEDED FOR NEW ROOFING.
- COORDINATE REMOVAL AND REINSTALLATION OF ROOF TOP STRUCTURES AND EQUIPMENT WITH OTHERS AS REQUIRED TO INSTALL NEW ROOF SYSTEM.
- REMOVE ALL EXISTING COPING TO FACILITATE INSTALLATION OF NEW ROOFING.
- REPLACE ANY DAMAGED WOOD AS REQUIRED FOR PROPER ANCHORING OF NEW ROOFING SYSTEM AND NEW METAL COPING.
- COORDINATE WITH OWNER THE RELOCATION OF FURNISHINGS THAT COULD BE DISTURBED DURING NEW WORK CONSTRUCTION.
- ALUMINUM CANOPIES ARE NOT INCLUDED IN THE SCOPE OF THIS PROJECT AND ARE TO BE PROTECTED DURING ALL PHASES OF DEMOLITION AND NEW CONSTRUCTION.
- PROTECT INTERIOR BUILDING ELEMENTS WHILE EXTERIOR DEMOLITION AND NEW CONSTRUCTION OCCUR. PROTECTION FROM WEATHER AND CONSTRUCTION RELATED DAMAGES SHALL BE IN PLACE TO MINIMIZE IMPACT TO INTERIOR SPACES THAT ARE NOT PART OF THE PROJECT SCOPE.
- PROTECT FROM DAMAGE ALL BUILDING COMPONENTS AND FINISHES THAT ARE EXISTING TO REMAIN.
- IF LIGHTING PROTECTION MUST BE MOVED OR TEMPORARILY DISCONNECT TO ALLOW FOR INSTALLATION OF NEW ROOFING, IT SHALL BE THE RESPONSIBILITY OF A LICENSED PROFESSIONAL TO PERFORM THE WORK.
- EXISTING VENTS, EQUIPMENT, AND OTHER ROOFTOP PENETRATIONS TO REMAIN, (UNO). REMOVE ANY PIPE BOOTS, FLASHING, AND SEALANTS AROUND EQUIPMENT. RAISE AS REQUIRED TO RECEIVE NEW ROOFING AND INSULATION SYSTEM.
- EXISTING PLUMBING VENTS AND PIPE PENETRATIONS TO REMAIN (UNO). FLASHING TO BE REMOVED FOR INSTALLATION OF NEW FLASHING, TYP. EXTEND VENTS AS REQUIRED FOR NEW ROOFING SYSTEM.

LEGEND

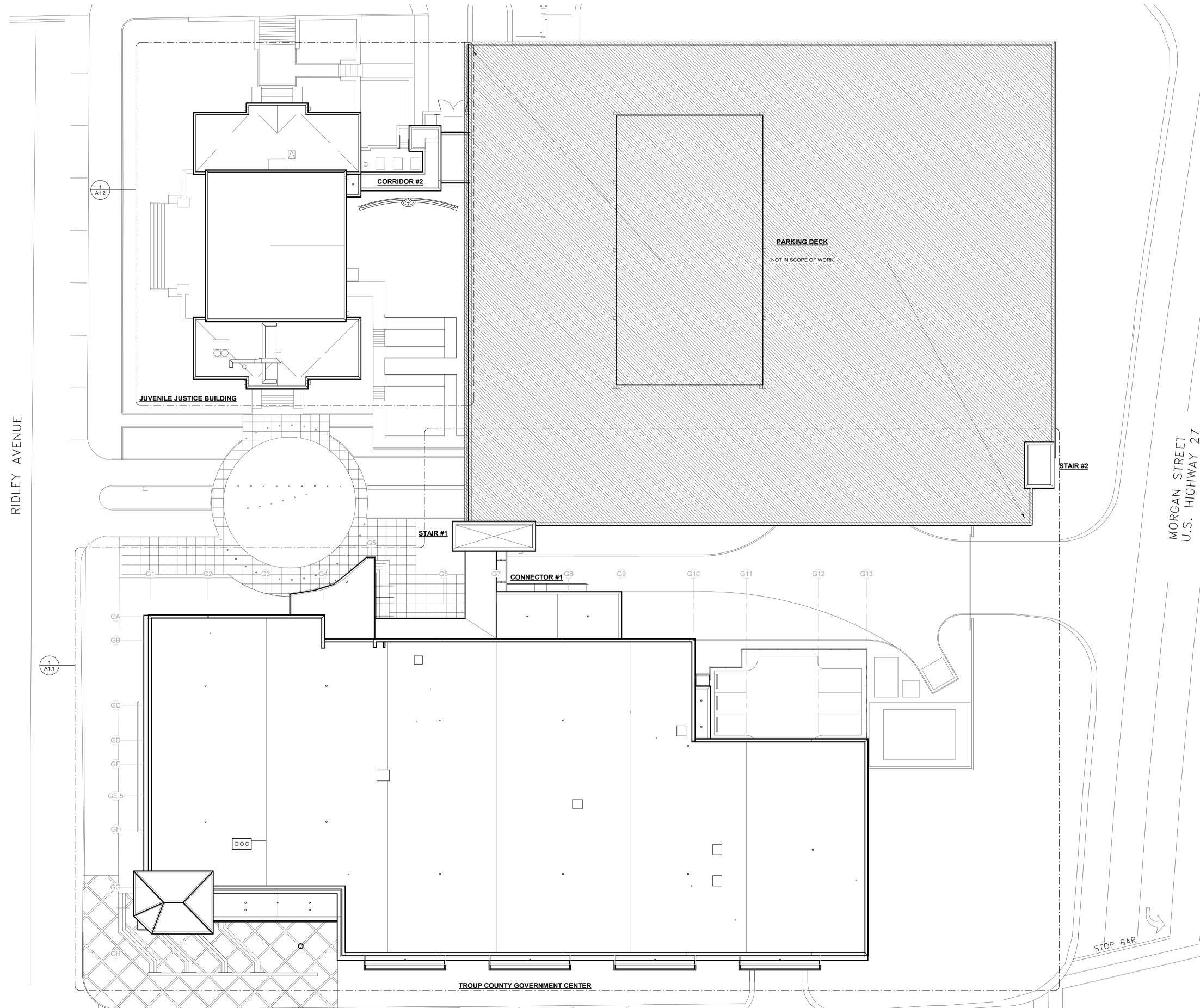
| | |
|-----|------------------------|
| RD | ROOF DRAIN |
| OD | OVERFLOW DRAIN |
| OS | OVERFLOW SCUPPER |
| VTR | VENT THRU ROOF |
| HSV | HOT STACK VENT |
| EF | EXHAUST FAN |
| RH | ROOF HATCH |
| SJ | SPLICE JOINT IN COPING |
| | SLOPE TO DRAIN |
| RA | ROOF ANCHOR |
| GD | GUTTER DRAIN |
| GEJ | GUTTER EXPANSION JOINT |

KEYED CONSTRUCTION NOTES

| | | | | | |
|----------|--|----------|---|-----------|--|
| A | REMOVE AND DISPOSE OF EXISTING ROOF SYSTEM DOWN TO DECK. CLEAN AND PREPARE SURFACE TO RECEIVE NEW ROOF SYSTEM. | I | EXISTING THROUGH WALL OVERFLOW SCUPPER TO REMAIN. | T | EXISTING ROOF MECHANICAL UNITS TO REMAIN. |
| B | EXISTING COPPER COPING SYSTEM TO BE REMOVED AND STORED FOR REINSTALLATION AFTER ROOF REPLACEMENT. REPLACE DAMAGED OR UNSUITABLE BLOCKING AS NEEDED. | J | ROOF MOUNTED SAFETY ANCHORS TO REMAIN. PROTECT ANCHORS UNTIL COMPLETION OF PROJECT. | U | REMOVE AND DISPOSE OF EXISTING LEADER BOX AND DOWNSPOUT SYSTEM. |
| C | ROOF DRAIN TO REMAIN. REMOVE AND DISPOSE OF STRAINER BASKET AND REPLACE BROKEN DRAIN COMPONENTS. | K | EXISTING ROOFTOP HOOD UNIT TO REMAIN. ADJUST HEIGHT AS REQUIRED TO INSTALL NEW ROOF SYSTEM. | V | REMOVE AND DISPOSE OF EXISTING METAL COPING. REPLACE BLOCKING AS REQUIRED. |
| D | REMOVE AND DISPOSE OF ROOF ACCESS HATCH. ADJUST HEIGHT AS REQUIRED FOR NEW UNIT AND ROOF SYSTEM. | L | DISPOSE OF THRU-WALL SCUPPER AND ALL RELATED ITEMS. | X | REPLACE THIS SECTION OF COPING WITH NEW COPPER COPING TO MATCH EXISTING. |
| E | REMOVE AND DISPOSE OF EXISTING ENERGY RECOVERY UNIT, MECHANICAL EQUIPMENT, CURBS, AND ALL RELATED ITEMS. INFILL EXISTING ROOF DECK OPENINGS. REFER TO NEW CONSTRUCTION PLANS AND DETAILS FOR ADDITIONAL INFORMATION. | M | EXISTING ROOF CONCRETE CURB TO REMAIN. | Y | REMOVE AND DISPOSE OF ROOF ACCESS LADDER. |
| F | COPPER SHINGLE ROOF SYSTEM TO REMAIN. | N | DISPOSE OF EXISTING DECORATIVE ALUMINUM SCREEN AND ALL RELATED ITEMS. | Z | EXISTING MECHANICAL DUCTWORK TO REMAIN. DISPOSE OF EXISTING WOOD BLOCKING SUPPORT. |
| G | EXISTING CONDUIT/PIPES AND GAS LINES TO REMAIN (UNO). PROTECT IN PLACE. REMOVE AND DISPOSE OF ALL WOOD BLOCKING. | O | ROOF CAMERA SYSTEM TO REMAIN. | AA | CAST STONE PARAPET TO REMAIN. |
| H | EXISTING ROOF HATCH TO BE REMOVED AND STORED FOR REINSTALLATION. MODIFY CURB HEIGHT AS REQUIRED TO ACCOMMODATE NEW FINISHED ROOF ELEVATION. | P | REMOVE AND DISPOSE OF EXISTING WATER SUPPLY AND ALL RELATED ITEMS. | BB | REMOVE AND STORE CAST STONE COPING FOR REINSTALLATION. |
| | | Q | EXISTING COPPER GUTTER AND DOWNSPOUT SYSTEM TO BE REMOVED AND STORED FOR REINSTALLATION. | CC | DISPOSE OF METAL GUTTER AND DOWNSPOUT SYSTEM. |
| | | R | EXISTING COUNTERFLASHING TO REMAIN. | | |
| | | S | EXISTING CANOPY SYSTEM TO REMAIN. | | |

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1
A0.1 OVERALL ROOF PLAN
SCALE: 1/16" = 1'-0"



11 Ninth Street
Suite 120
Columbus, GA 31901
P. (706) 571-6923
F. (706) 571-6928



TROUP COUNTY COURTHOUSE REROOFING

TROUP COUNTY BOARD OF COMMISSIONERS
100 RIDLEY AVENUE
LAGRANGE, GA 30240

CONSTRUCTION DOCUMENTS

Project Number: 20-689
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Drawn By: XXX
Checked By: XXX
Revisions:

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Sheet Description

OVERALL ROOF PLAN

Sheet Number

A0.1



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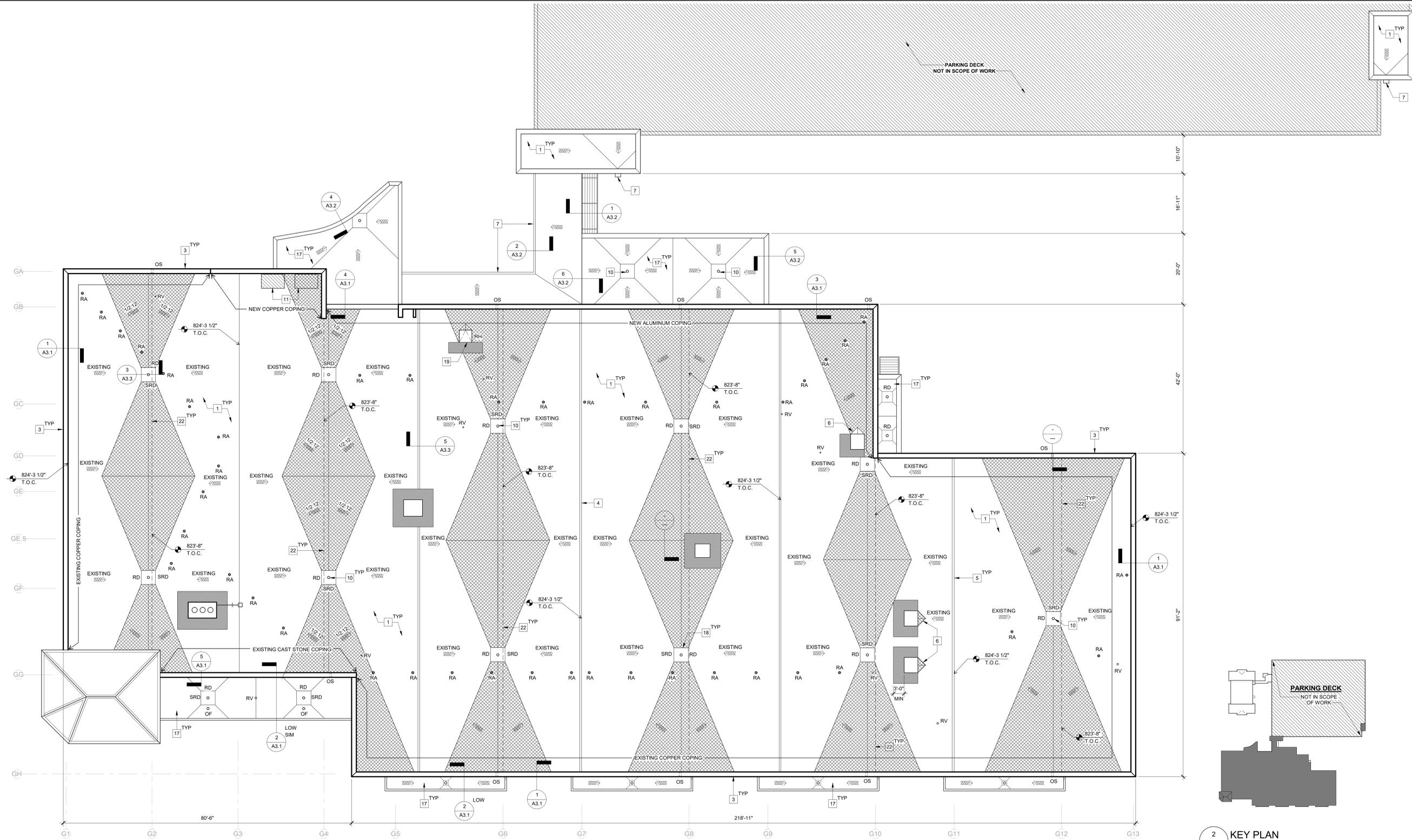
GOVERNMENT CENTER NEW ROOF PLAN

Sheet Number

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2 KEY PLAN
SCALE: 1" = 100'-0"

1 GOVERNMENT CENTER NEW ROOF PLAN
SCALE: 3/32" = 1'-0"

GENERAL ROOF NOTES

- A. PROVIDE ALL COMPONENTS FOR A COMPLETE ROOF SYSTEM AND FLASHING AT ENTIRE SCOPE OF WORK. PROVIDE COMPLETE WEATHER TIGHT CONDITION IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- B. PROVIDE MINIMUM FINISHED ROOF SLOPE 1/4" FT TO DRAINS U.N.O.
- C. ALL EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN, U.N.O. CLEAN, REPAIR, AND REPAINT.
- D. ALL CONTINUOUS MTL CLEATS OR REVERSE MTL CLEATS SHALL BE A MIN (1) GAUGE HEAVIER THAN SPECIFIED THICKNESS OF MTL FLASHING.
- E. ALL ROOFING AND SHEET MTL FLASHING WORK SHALL BE DONE IN ACCORDANCE WITH ALL CURRENT PRACTICES OF SMACNA AND NRCA.
- F. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MISCELLANEOUS REPAIRS AND MODIFICATIONS ASSOCIATED WITH THE SCOPE OF THE WORK AS DIRECTED.
- G. CONTRACTOR TO FIELD VERIFY ALL ROOF VENT, PIPE, AND CURB HEIGHTS. REPLACE ANY FIXTURE NOT MEETING 8" MINIMUM HEIGHT ABOVE FINISHED ROOF MEMBRANE PER MANUFACTURER'S REQUIREMENTS.
- H. CRICKET ALL AREAS WHERE WATER FLOW IS INTERRUPTED - MINIMUM SLOPE FOR CRICKETS 1/2" PER FOOT.
- I. SURFACE ROOF DRAINAGE DESIGN WILL BE AS INDICATED BY THE CONSTRUCTION DOCUMENTS.

LEGEND

- J. PROVIDE PROPER BOOTS, STORM COLLARS, AND TPO FLASHING FOR ALL PENETRATIONS THROUGH THE ROOFS. NOTE THAT NOT ALL EXISTING PENETRATIONS ARE INDICATED ON THE ROOF PLANS.
- K. ALL NEW COPING PIECES AT CORNERS AND INSETS SHALL BE SHOP-FABRICATED WITH MITERED AND FULLY WELDED CORNERS. SPLICED JOINTS ARE NOT ACCEPTABLE.
- L. CREATE SUMP AS NEEDED NEAR ROOF SCUPPERS TO ALLOW CORRECT WATER FLOW.
- M. PROVIDE NEW TPO SCUPPERS AND NEW FACE TRIM AT ALL AREAS AFFECTED BY REROOF.
- N. UNLESS NOTED OTHERWISE PIPE SUPPORTS ARE TO BE REPLACED WITH PREFABRICATED POLYCARBONATE PIPE SUPPORT. BASIS OF DESIGN MIRO INDUSTRIES 3 IN. POLYCARBONATE PIPE SUPPORT (BASE STRUT).
- O. CONTRACTOR TO FIELD VERIFY NEW COPING FACE DIMENSIONS PRIOR TO ORDERING MATERIAL TO ENSURE PROPER COVERAGE OF JOINTS AT ROOF/WALL TRANSITIONS.
- P. PROVIDE 2" INSULATION THICKNESS AT ALL ROOF DRAINS OVER CERTIFIED SPACES, U.N.O.
- Q. OSHA AND ANSI/INCA 1-14.1 REQUIRE THAT ROOF ANCHORS BE CERTIFIED AND INSPECTED. COORDINATE WITH LOCAL INSPECTORS AS REQUIRED TO MAINTAIN COMPLIANCE.

KEYED NOTES

- 1 NEW 60 MIL TPO ROOF MEMBRANE FULLY ADHERED SYSTEM OVER 1/2" COVER BOARD ON R-25 POLYISO INSULATION. SLOPE TO DRAIN WITH MIN 1/4" PER FOOT.
- 2 PROVIDE PIPE BOOT, STORM COLLAR, AND PROPER TPO FLASHING FOR VTR AND OTHER ROOF PENETRATIONS.
- 3 REINSTALL COPPER COPING SYSTEM. SEE DETAIL 11/A3.2
- 4 PROVIDE ROOF CURB FLASHING.
- 5 ROOF RIDGE.
- 6 ROOF CRICKET. SLOPE A MINIMUM OF 1/2" PER 1'-0".
- 7 REINSTALL EXISTING GUTTER AND ANCHOR DOWNSPOUTS TO BUILDING AT TOP, MIDDLE, AND BOTTOM MAX 8'-0" OC.
- 8 PROVIDE CAST INTEGRAL VALLEY WITH CORNER COPING SECTIONS - MITERED SEALANT FILLED JOINTS SHALL NOT OCCUR AT CORNER CONDITIONS.
- 9 EXTEND TPO ROOF MEMBRANE FULLY ADHERED OVER R-25 POLYISO INSULATION AT ENTIRE AREA.
- 10 EXISTING ROOF DRAIN LOCATION. PROVIDE NEW STRAINER BASKET AND SUMP PER DETAIL 2/A3.3
- 11 INFILL EXISTING ROOF DECK OPENING. COORDINATE WITH STRUCTURAL DRAWINGS.
- 12 NEW ROOF ACCESS LADDER.
- 13 PROVIDE NEW INSULATED ROOF HATCH. COORDINATE WITH EXISTING OPENING.
- 14 PROVIDE NEW LEADER BOX AND DOWNSPOUT SYSTEM. ANCHOR DOWNSPOUT TO BUILDING AT TOP, MIDDLE, AND BOTTOM MAX 8'-0" OC.
- 15 NEW 60 MIL TPO MEMBRANE FULLY ADHERED OVER TAPERED RIGID INSULATION WITH 1/2" INSULATION THICKNESS AT LOW POINT. SLOPE TO DRAIN MIN 1/8" / FT
- 16 REINSTALL EXISTING ROOF CURB.
- 17 PROVIDE 1" INSULATION THICKNESS AT ROOF DRAINS IN THIS SECTION OF ROOF.
- 18 SUMPED ROOF DRAIN.
- 19 REINSTALL EXISTING ROOF HATCH. MODIFY CURB HEIGHT AS REQUIRED TO ACCOMMODATE NEW FINISHED ROOF ELEVATION. PROVIDE NEW SAFETY RAILING AND POSTS WITH SELF CLOSING GATE MOUNTED TO ROOF HATCH.
- 20 PROVIDE WALK PAD.
- 21 EXISTING MECHANICAL UNITS TO REMAIN.
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- 24 NEW PREFIN METAL GUTTER AND DOWNSPOUT SYSTEM. ANCHOR DOWNSPOUTS TO BUILDING AT TOP, MIDDLE, AND BOTTOM MAX 8'-0" OC.
- 25 SEE DETAIL 11/A3.2 FOR WALL FLASHING DETAIL.

LEGEND

- NEW 60 MIL TPO ROOF MEMBRANE FULLY ADHERED SYSTEM
- ROOF CRICKET
- WALK PAD
- RD ROOF DRAIN 2/A3.3
- OD OVERFLOW DRAIN SEE MEP DWGS
- ON OVERFLOW NOZZLE SEE MEP DWGS
- OS OVERFLOW SCUPPER
- SRD SUMPED ROOF DRAIN 2/A3.3
- VTR VENT THRU ROOF 3/A3.3
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- RH ROOF HATCH
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- SD SLOPE TO DRAIN
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**TROUP COUNTY
COURTHOUSE
REROOFING**

TROUP COUNTY BOARD OF
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100 RIDLEY AVENUE
LAGRANGE, GA 30240

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DOCUMENTS**

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Sheet Description

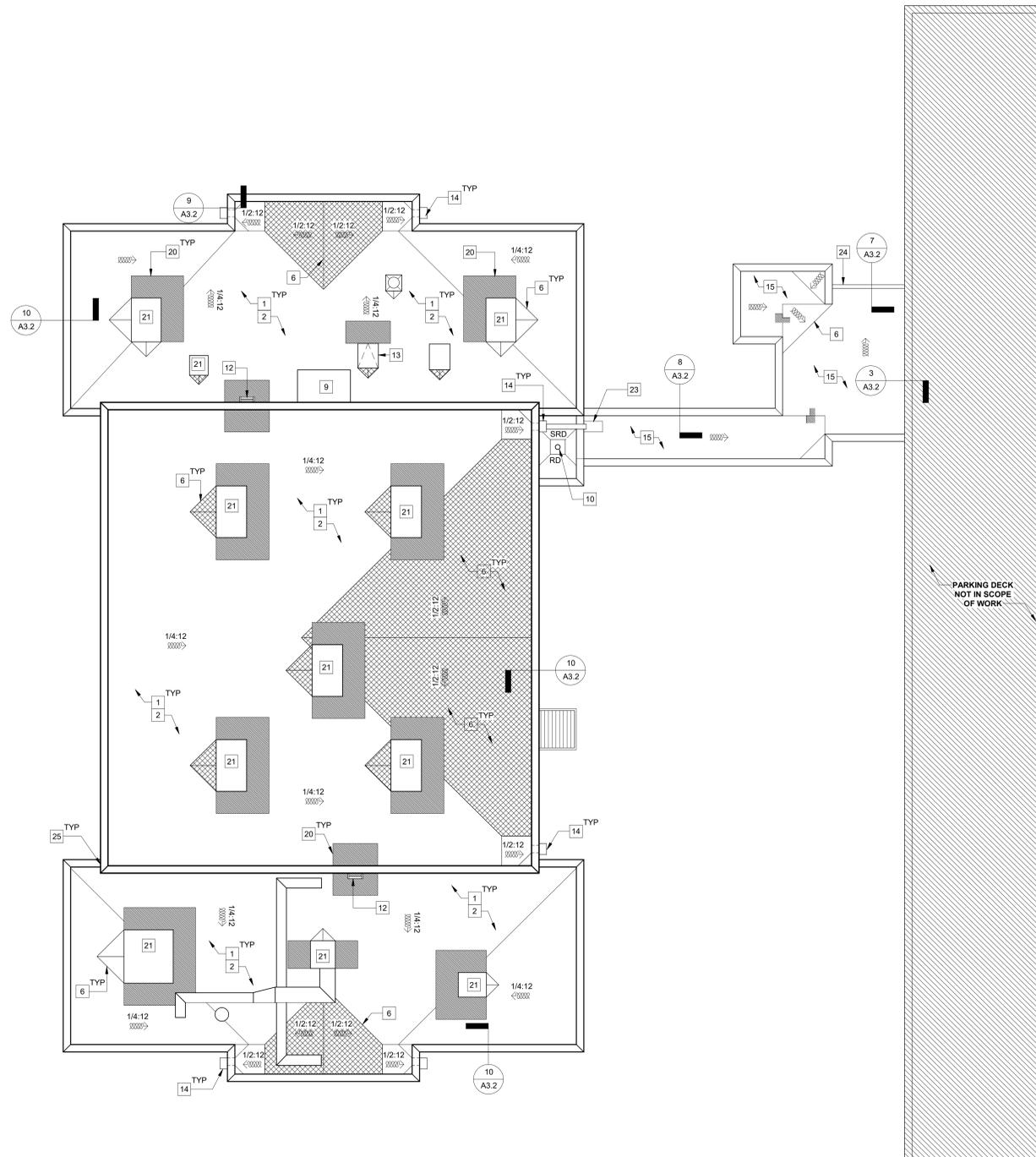
**JUVENILE COURT NEW
ROOF PLAN**

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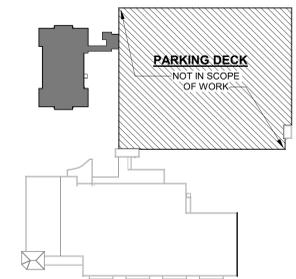
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1 JUVENILE COURT NEW ROOF PLAN
SCALE: 1/8" = 1'-0"



2 KEY PLAN
SCALE: 1" = 100'-0"

GENERAL ROOF NOTES

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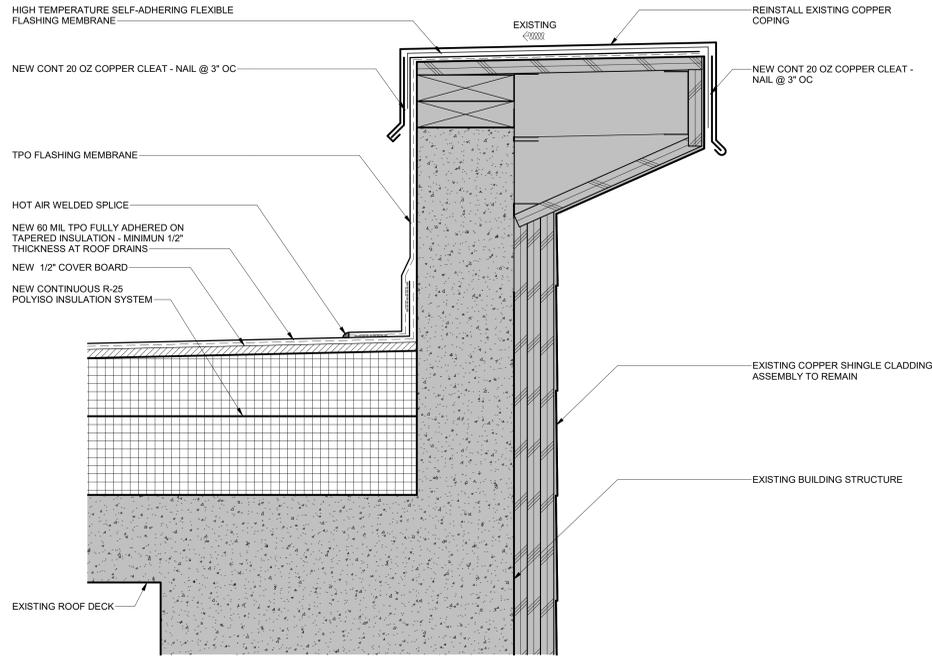
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- Q. **OSHA AND ANSII/CA 114.1 REQUIRE THAT ROOF ANCHORS BE CERTIFIED AND INSPECTED. COORDINATE WITH LOCAL INSPECTORS AS REQUIRED TO MAINTAIN COMPLIANCE.**

LEGEND

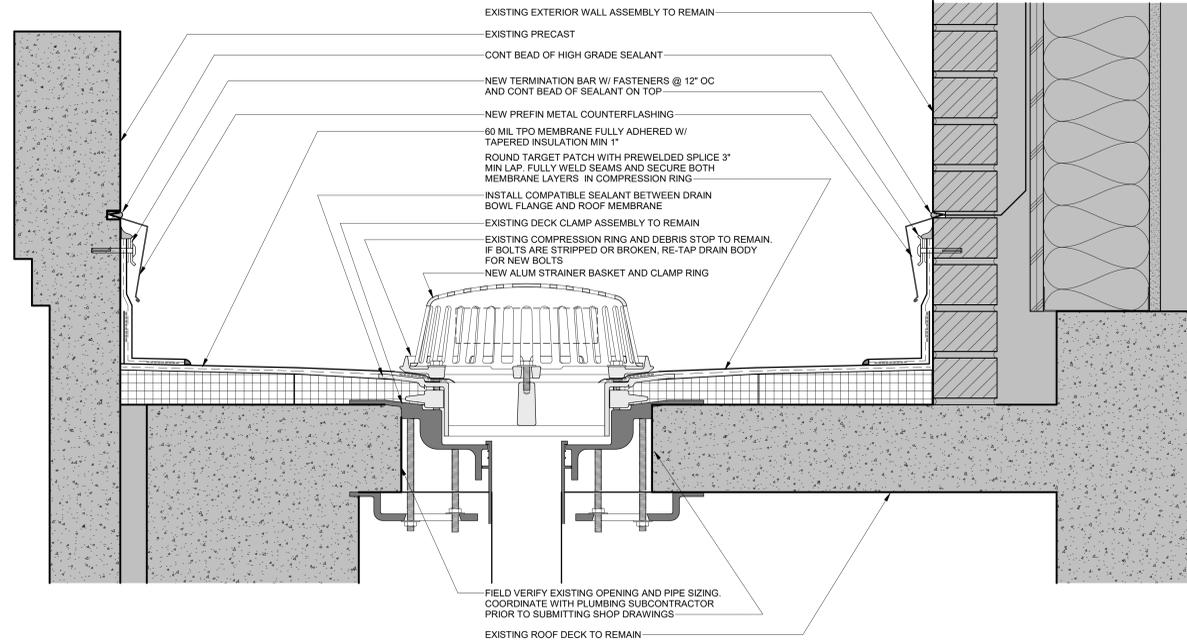
| | |
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KEYED NOTES

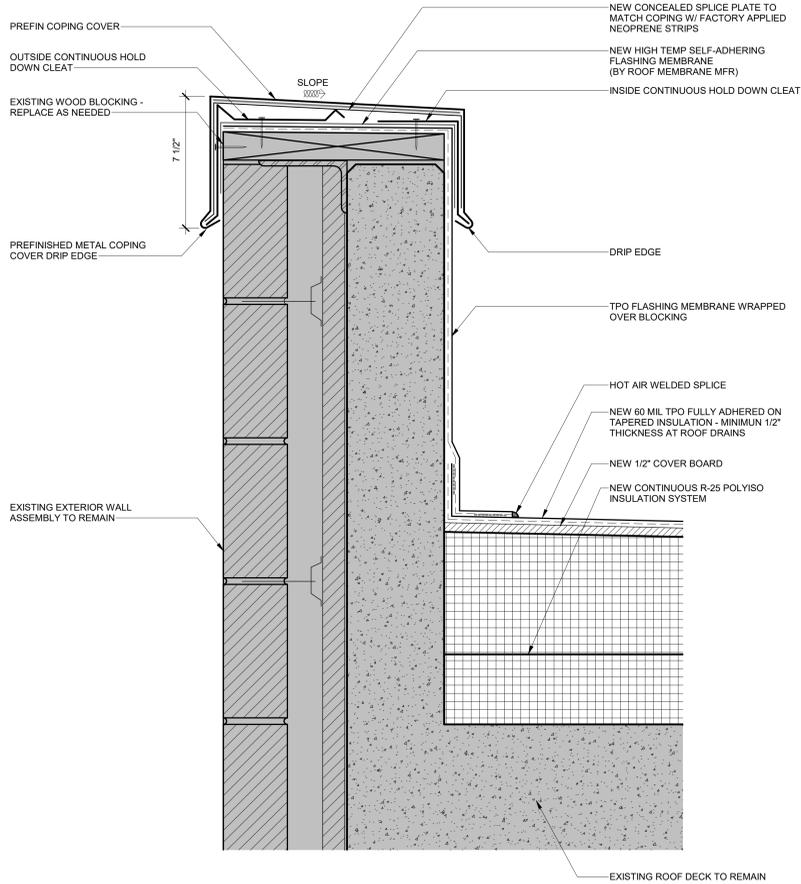
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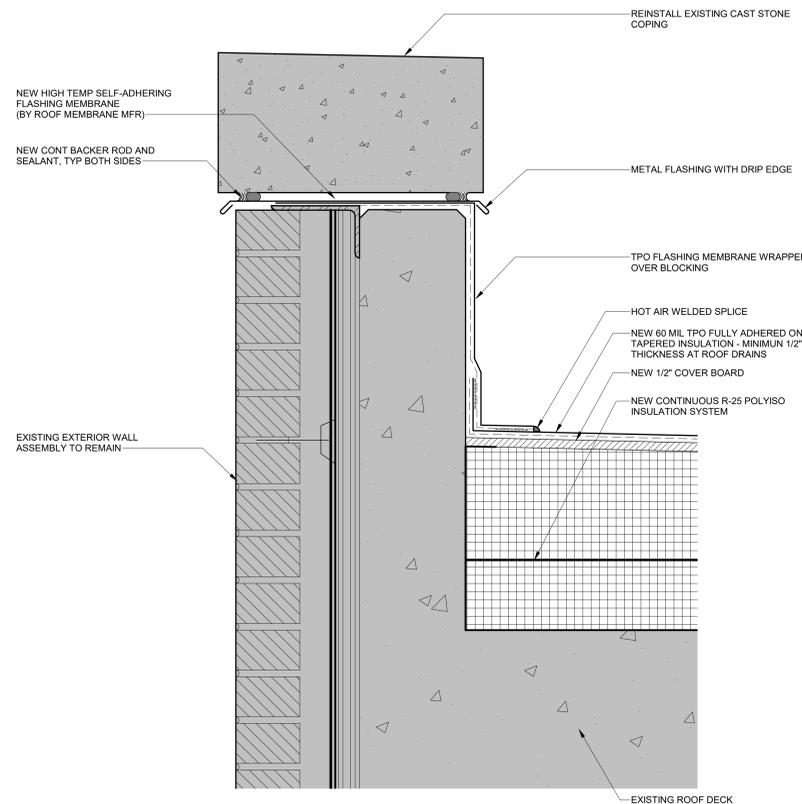
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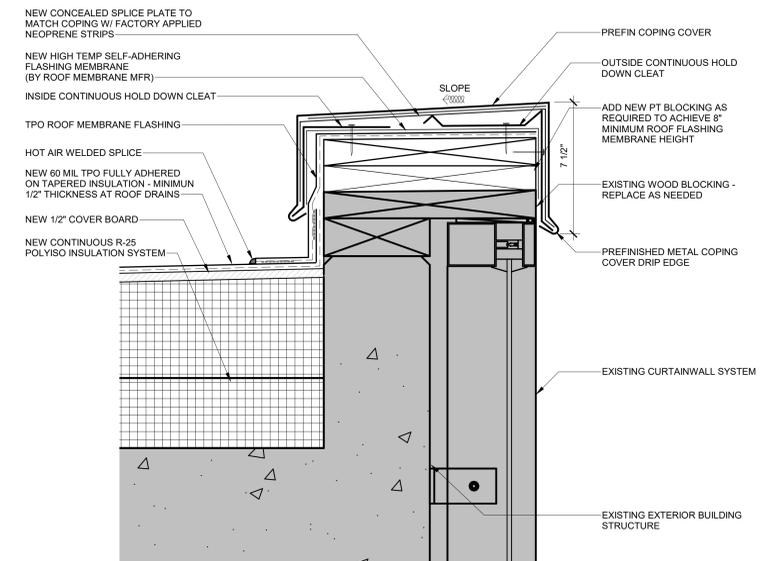
2 ROOF DETAIL
A3.1 SCALE: 3" = 1'-0"



3 PARAPET DETAIL
A3.1 SCALE: 3" = 1'-0"



5 PARAPET DETAIL
A3.1 SCALE: 3" = 1'-0"



4 COPING DETAIL
A3.1 SCALE: 3" = 1'-0"

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TROUP COUNTY
COURTHOUSE
REROOFING

TROUP COUNTY BOARD OF
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100 RIDLEY AVENUE
LAGRANGE, GA 30240

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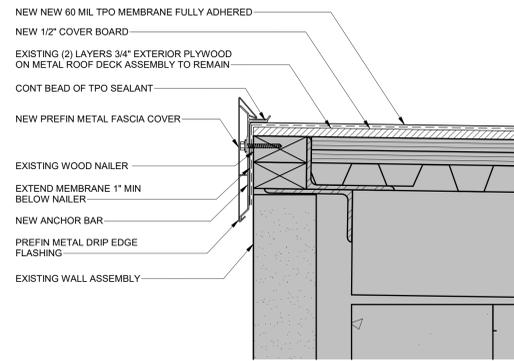
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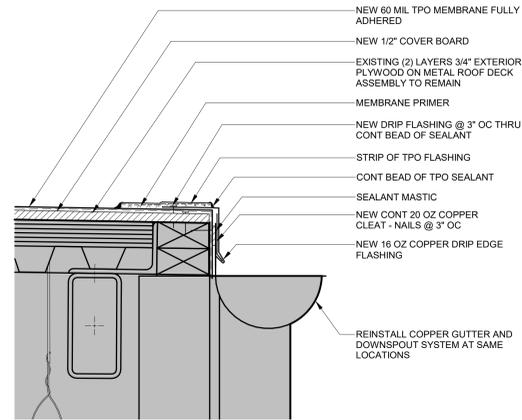
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DETAILS

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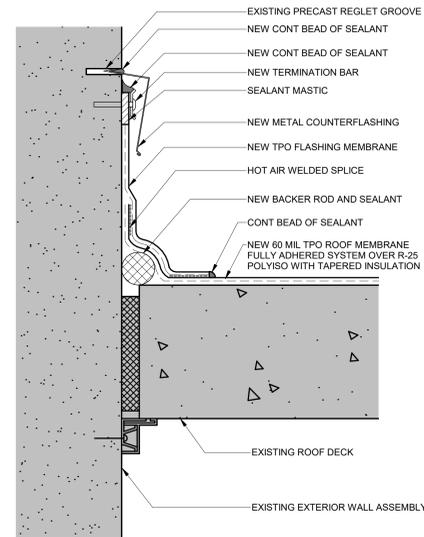
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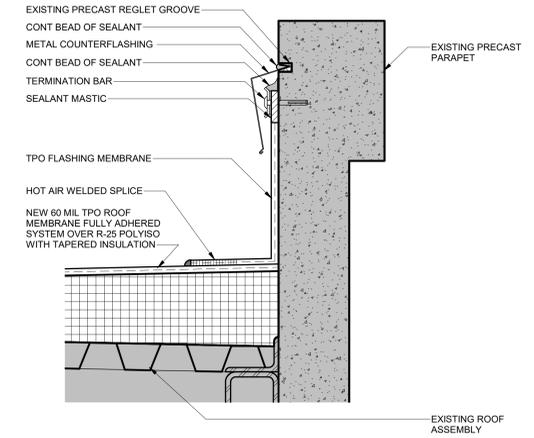
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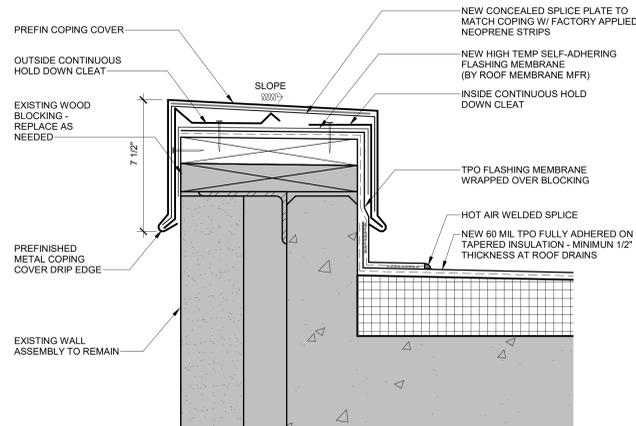
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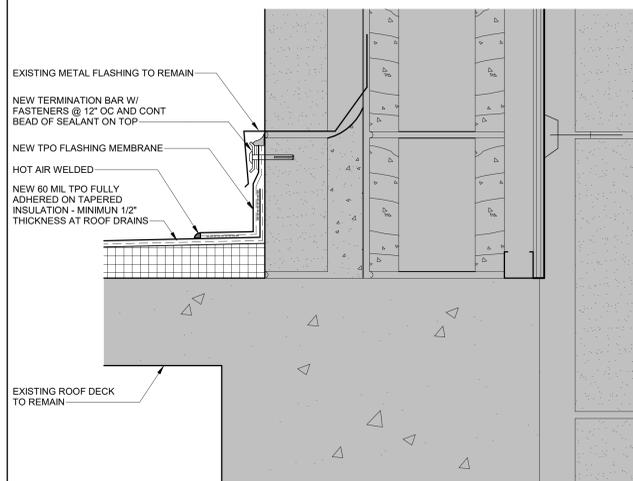
3 DETAIL AT CONNECTION AT P
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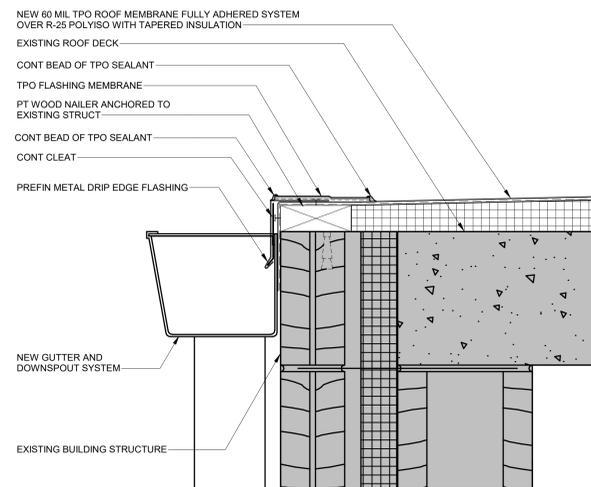
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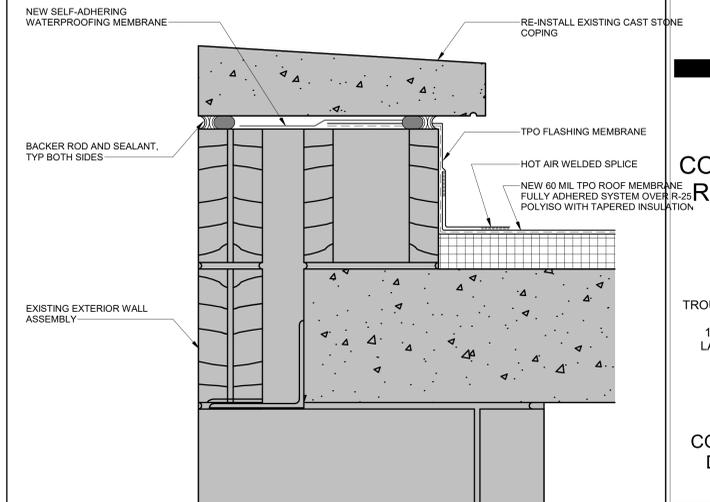
5 PARAPET DETAIL
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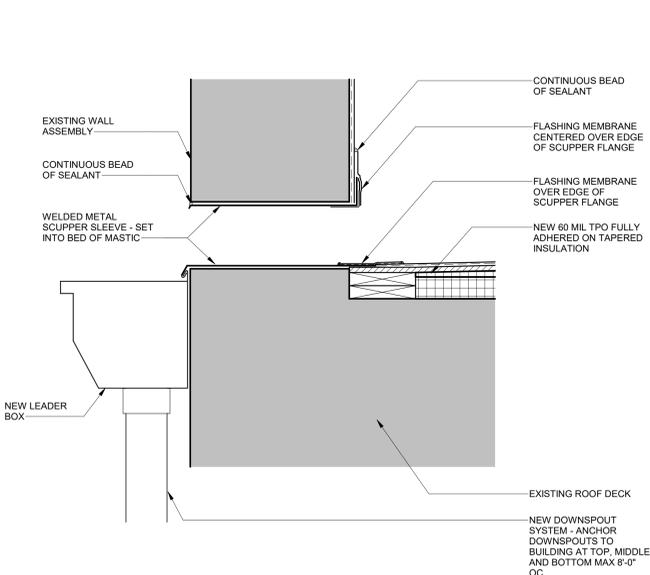
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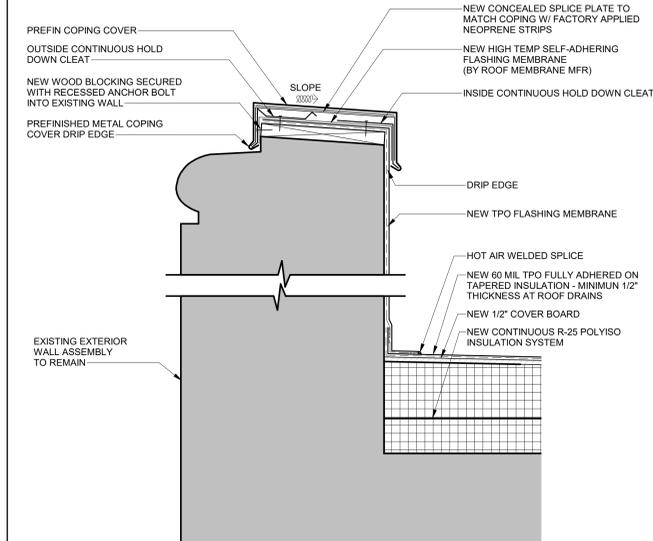
7 DRIP EDGE DETAIL
 A3.2 SCALE: 3" = 1'-0"



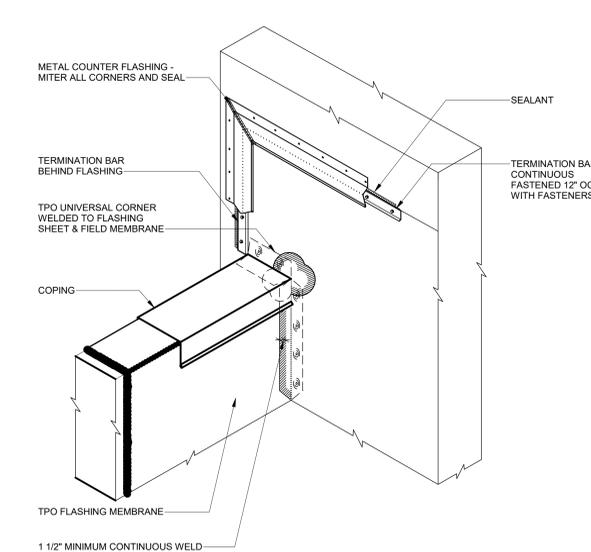
8 COPING DETAIL @ DOCK
 A3.2 SCALE: 3" = 1'-0"



9 THRU-WALL SCUPPER
 A3.2 SCALE: 1 1/2" = 1'-0"



10 COPING DETAIL
 A3.2 SCALE: 1 1/2" = 1'-0"



11 TYP. PARAPET / WALL FLASHING DETAIL
 A3.2 SCALE: 6" = 1'-0"

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FILE PATH: C:\Users\Elisi\Documents\20-689 Troup County Courthouse Reroofing V21_eis@2warach.com.nt

TROUP COUNTY
 COURTHOUSE
 REROOFING

TROUP COUNTY BOARD OF COMMISSIONERS
 100 RIDLEY AVENUE
 LAGRANGE, GA 30240

CONSTRUCTION DOCUMENTS

Project Number: 20-689
 Date: 30 JUNE 2021
 Drawn By: Author
 Checked By: Checker
 Revisions:

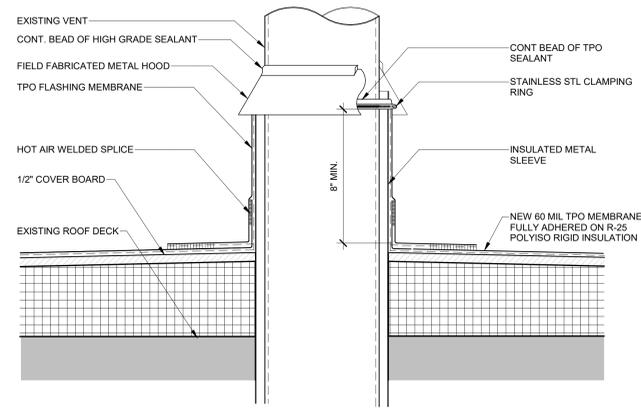
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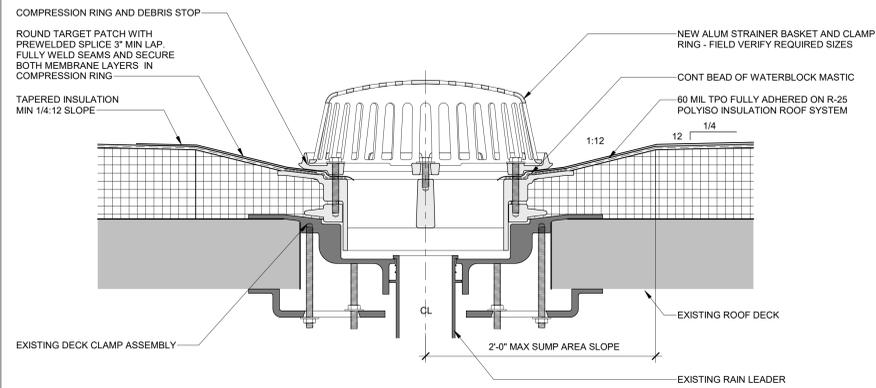
ROOF DETAILS

Sheet Number

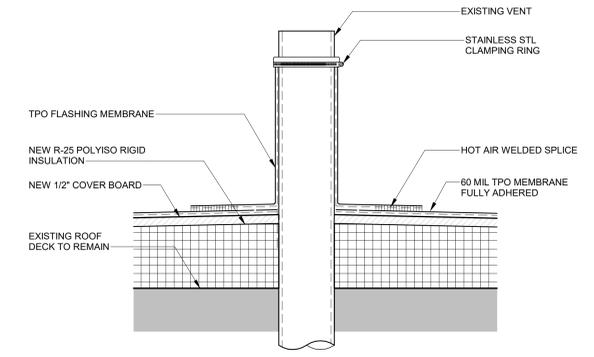
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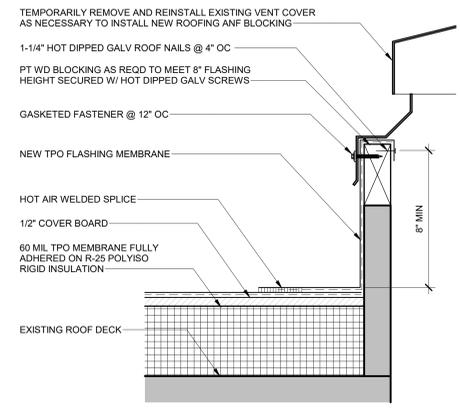
1 HOT STACK VENT DETAIL
A3.3 SCALE: 3" = 1'-0"



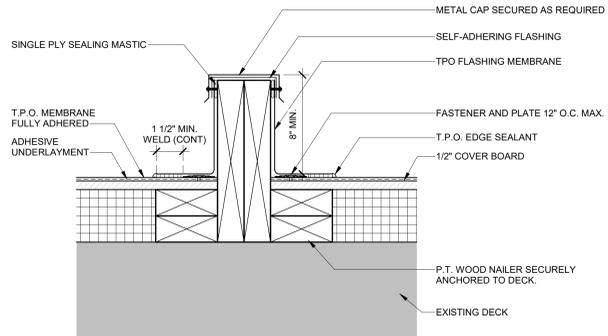
2 ROOF DRAIN DETAIL
A3.3 SCALE: 3" = 1'-0"



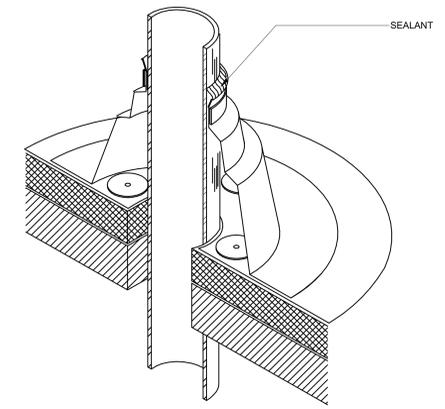
3 VENT THRU ROOF DETAIL
A3.3 SCALE: 3" = 1'-0"



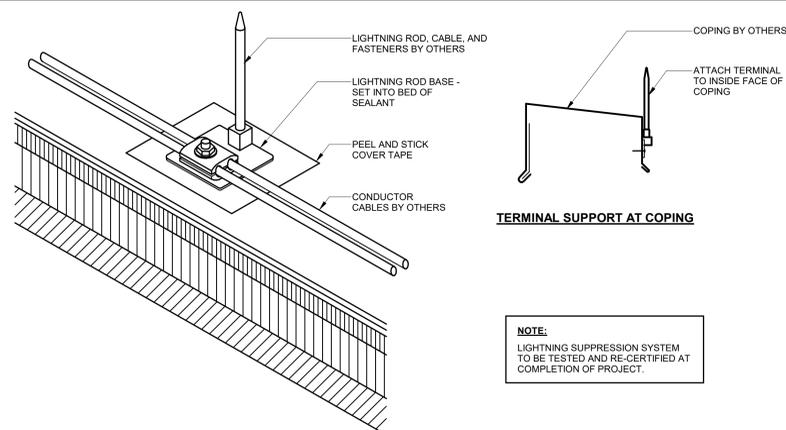
4 MECHANICAL CURB DETAIL
A3.3 SCALE: 3" = 1'-0"



5 DETAIL
A3.3 SCALE: 3" = 1'-0"



6 PIPE FLASHING DETAIL
A3.3 SCALE: 12" = 1'-0"



7 TYPICAL LIGHTNING PROTECTION DETAIL
A3.3 SCALE: 12" = 1'-0"

TROUP COUNTY COURTHOUSE REROOFING

TROUP COUNTY BOARD OF COMMISSIONERS
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Revisions:

| No. | Date | Description |
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| | | |

Sheet Description

ROOF DETAILS

Sheet Number

A3.3

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**TROUP COUNTY
COURTHOUSE
REROOFING**

TROUP COUNTY BOARD OF
COMMISSIONERS
100 RIDLEY AVENUE
LAGRANGE, GA 30240

**CONSTRUCTION
DOCUMENTS**

Project Number: 20-689
Date: 30 JUNE 2021
Drawn By: AJW
Checked By: BW
Revisions:

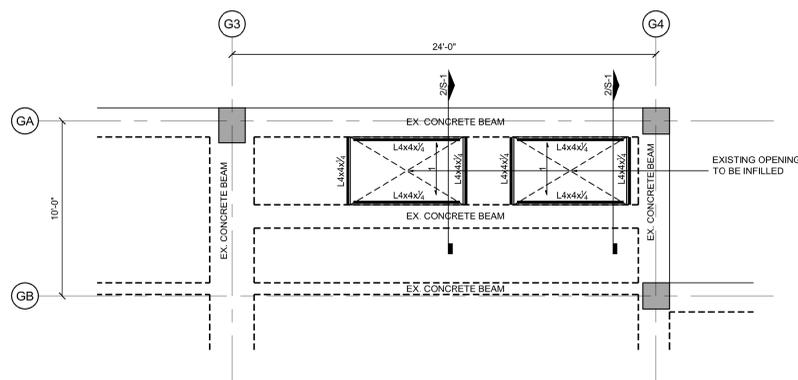
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Sheet Description

**ROOF INFILL
PLAN**

Sheet Number

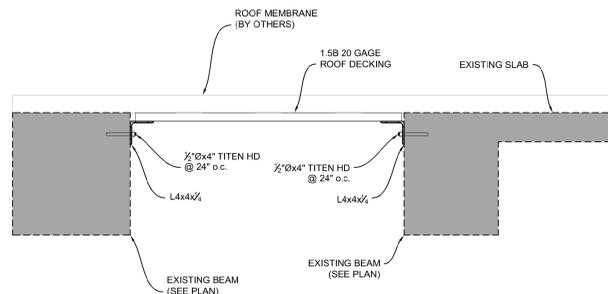
S-1



1 ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"

FRAMING NOTES:

1. DENOTES LOCATION 1.5 B 20 GAGE ROOF DECK WELDED 3/4" PUDDLE WELDS IN A 3/4" PATTERN w/ 2 SIDE LAP FASTENERS. WELD AT SIDE SUPPORTS @ 12" o.c.
2. CONTRACTOR TO INSURE EXISTING REBAR IS NOT DAMAGED DURING THE INSTALLATION OF TITEN HD ANCHORS.



2 FRAMING SECTION
SCALE: 1"=1'-0"

GENERAL NOTES:

1. ALL WORK SHALL COMPLY WITH THE 2018 EDITION OF THE INTERNATIONAL BUILDING CODE WITH GEORGIA STATE AMENDMENTS, AND IN STRICT COMPLIANCE WITH GOVERNING MUNICIPAL CODES (CITY, STATE, AND FEDERAL).
2. ASTM SPECIFICATIONS ARE THOSE CONTAINED IN THE LATEST EDITION OF THE STANDARDS OF THE AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM).
3. IN THE CASE OF A CONFLICT BETWEEN THESE PROJECT SPECIFICATIONS, DRAWINGS, AND/OR THOSE LISTED, REFERENCED SPECIFICATIONS, OR CODE, THE MORE STRINGENT SHALL GOVERN.
4. USE ALL MEANS NECESSARY TO CONTROL DUST ON AND NEAR THE WORK AND ON AND NEAR ALL OFF-SITE BORROW AREAS IF SUCH DUST IS CAUSED BY THE CONTRACTORS OPERATIONS DURING PERFORMANCE OF THE WORK OR IF RESULTING FROM THE CONDITION IN WHICH THE CONTRACTOR LEAVES THE SITE.
5. THOROUGHLY MOISTEN ALL SURFACES AS REQUIRED TO PREVENT DUST BEING A NUISANCE TO THE PUBLIC, NEIGHBORS, AND CONCURRENT PERFORMANCE OF OTHER WORK ON THE SITE.
6. USE ALL MEANS NECESSARY TO PROTECT ALL MATERIALS ON THIS PROJECT BEFORE, DURING, AND AFTER INSTALLATION. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL WORK AND MATERIALS.
7. ALL WORK SHALL BE ACCOMPLISHED IN A WORKMAN LIKE MANNER. ALL WORK SHALL BE CLEAN AND NEAT AND EASILY INSPECTED.
8. CALCULATED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
9. CONTRACTOR TO VERIFY ALL MEASUREMENTS ON JOB SITE TO ENSURE FIT. IN CASE OF DISCREPANCIES BETWEEN DRAWINGS, SHOP DRAWINGS, AND SPECIFICATIONS NOTIFY THE ARCHITECT AND ENGINEER IMMEDIATELY.
10. THE DESIGN, ADEQUACY, AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC., IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE STRUCTURAL DESIGN OF BUILDING IS BASED ON THE FULL INTERACTION OF ALL ITS COMPONENT PARTS, WITH NO PROVISION FOR CONDITION OCCURRING DURING CONSTRUCTION. THEREFORE, CONTRACTOR SHALL PROVIDE ADEQUATE BRACING DURING CONSTRUCTION.
11. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS. CONTRACTOR SHALL VERIFY THE REQUIREMENTS OF OTHER TRADES REGARDING INSERTS, CLIPS, OPENINGS, ETC., TO BE PLACED IN THE STRUCTURAL WORK. STRUCTURAL DRAWINGS DO NOT NECESSARILY SHOW ALL OPENINGS IN STRUCTURAL WORK. VERIFY NUMBER, SIZE AND LOCATION OF ALL OPENINGS IN ROOF DECK FROM ARCHITECTURAL DRAWINGS AND APPROVED MECHANICAL, PLUMBING AND ELECTRICAL SHOP DRAWINGS.
12. NO LOADS IN EXCESS OF DESIGN LOADS LISTED SHALL BE PLACED ON ANY AREA DURING CONSTRUCTION, UNLESS ADEQUATE SHORING OR OTHER METHODS APPROVED BY THE ENGINEER ARE PROVIDED TO SUPPORT THE EXCESSIVE LOADS. THE CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE FRAMING UNTIL PERMANENT BRACING IS INSTALLED.
13. WHERE ALIGNMENT OF MATERIALS SUCH AS WALLS AND FACING MATERIALS WILL BE AFFECTED BY DEFLECTIONS AND ROTATIONS OF THE STRUCTURE DURING PLACING OF THE MATERIALS, PLACING PROCEDURES SHALL BE USED WHICH WILL ASSURE THE CORRECT FINAL POSITION OF MATERIALS.
14. ALL NOTES ON STRUCTURAL DRAWINGS SHALL BE ASSUMED TYPICAL UNLESS OTHERWISE SHOWN BY OTHER DETAILS AND/OR SECTIONS.
15. STRUCTURE DRAWINGS INDICATE TYPICAL AND CERTAIN SPECIFIC CONDITIONS ONLY. SHOP DRAWINGS SHALL DETAIL ALL CONDITIONS IN ACCORDANCE WITH SPECIFIED STANDARDS AND SPECIFIED REQUIREMENTS OF THIS PROJECT AS INDICATED ON THE DRAWINGS. SECTIONS AND DETAILS ARE TO BE USED IN ALL SIMILAR LOCATIONS UNLESS NOTED OTHERWISE ON DRAWINGS OR SPECIFICATIONS.
16. SEE ARCHITECTURAL DRAWINGS FOR WEATHERPROOFING DETAILS.
17. REVIEW OF SUBMITTALS AND/OR SHOP DRAWINGS BY THE STRUCTURAL ENGINEER DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO REVIEW AND CHECK SHOP DRAWINGS BEFORE SUBMITTAL TO THE STRUCTURAL ENGINEER. THE CONTRACTOR REMAINS SOLELY RESPONSIBLE FOR ERRORS AND OMISSIONS ASSOCIATED WITH THE PREPARATION OF SHOP DRAWINGS AS THEY PERTAIN TO MEMBER SIZES, DETAILS, AND DIMENSIONS SPECIFIED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.
18. STRUCTURAL DESIGN DRAWINGS SHALL NOT BE REPRODUCED AS SHOP DRAWINGS. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL PREPARE THEIR OWN SHOP DRAWINGS.
19. CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS BEFORE SUBMITTAL FOR REVIEW. PROPOSED FABRICATION CHANGES FROM THE DESIGN DRAWINGS SHALL BE NOTED. ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL AND STRUCTURAL DRAWINGS SHALL BE NOTED TO BE VERIFIED ON THE SHOP DRAWINGS.
20. FIELD VERIFY ALL EXISTING ABOVE AND BELOW GROUND CONDITIONS PRIOR TO FABRICATION AND CONSTRUCTION.
21. THE STRUCTURAL DESIGN OF BUILDING IS BASED ON THE FULL INTERACTION OF ALL ITS COMPONENT PARTS, WITH NO PROVISION FOR CONDITION OCCURRING DURING CONSTRUCTION. THEREFORE, CONTRACTOR SHALL PROVIDE ADEQUATE BRACING DURING CONSTRUCTION.

STRUCTURAL STEEL NOTES:

1. ALL STRUCTURAL STEEL SHALL BE DESIGNED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS OF LATEST EDITION:
 - (a) AMERICAN INSTITUTE OF STEEL CONSTRUCTION SPECIFICATION FOR DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS (ALLOWABLE STRESS DESIGN), WHERE THE MATERIAL USED CONSISTS OF PLATES, SHAPES, OR BARS.
 - (b) AMERICAN IRON AND STEEL INSTITUTE SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS, FOR MEMBERS WHICH ARE FORMED FROM SHEET OR STRIP MATERIAL.
2. UNLESS NOTED OTHERWISE ALL STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:
 - PLATES AND BARS: ASTM A36
 - SHAPES: ASTM A992
 - STRUCTURAL TUBING: ASTM A500, GRADE B (Fy=46 ksi)
 - HIGH STRENGTH BOLTS: ASTM A325 TC BOLTS U.N.O.
 - NUTS FOR HIGH STRENGTH BOLTS: ASTM A563
 - WASHERS: ASTM F436
 - ANCHOR BOLTS: ASTM F1334 A36. FURNISH WITH HEAVY HEX NUTS.
3. WHEN NOT SPECIFICALLY DETAILED ON THE DESIGN DRAWINGS PROVIDE THE FOLLOWING BEAM CONNECTIONS:
 - a. WHERE BEAM REACTIONS ARE GIVEN, CONNECTIONS SHALL DEVELOP THE REACTIONS GIVEN.
 - b. WHERE BEAM REACTIONS ARE NOT GIVEN, CONNECTIONS SHALL DEVELOP END REACTIONS = 0.6W, WHERE W IS THE TOTAL UNIFORM LOAD FOR THE APPROPRIATE LENGTH AS LISTED IN AISC (8TH EDITION) ALLOWABLE LOAD TABLES.
 - c. WHERE REACTIONS ARE SUBJECT TO ECCENTRICITY, SUCH ECCENTRICITY SHALL BE TAKEN INTO ACCOUNT.
4. ALL CONNECTIONS TO BE TWO BOLT MINIMUM, STANDARD FIELD BOLTED FRAMING CONNECTIONS USING MAX # OF 3/8" A490 TC BOLTS, UNLESS NOTED OTHERWISE. ALL BASE PLATES SHALL HAVE MINIMUM 4 BOLTED CONNECTION.
5. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS SHOWING MEMBER SIZES, LOCATIONS, AND SPACING FOR APPROVAL PRIOR TO MANUFACTURING. SHOP DRAWINGS SHALL BE PREPARED UTILIZING CAD SOFTWARE PROGRAMS. THE STRUCTURAL DRAWINGS MAY NOT BE REPRODUCED AS PART OF THE SHOP DRAWINGS.
6. FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS FOR DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL BUILDINGS SHALL COMPLY TO THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION, LATEST EDITION.
7. WELDS SHALL BE E70XX ELECTRODES AND SHALL MEET ASW D1.1. WELDING SHALL BE PERFORMED BY APPROVED CERTIFIED WELDERS AND SHALL CONFORM TO THE PROVISIONS OF THE "STRUCTURAL WELDING CODE - STEEL" OF THE AMERICAN WELDING SOCIETY.
8. PAINT STRUCTURAL STEEL IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. SEE ARCHITECTURAL FOR TYPE AND COLOR. AT MINIMUM, STANDARD SHOP PRIMER SHALL BE APPLIED TO INTERIOR STEEL. NOTE THAT SOME AREAS WILL BE ARCHITECTURALLY EXPOSED STRUCTURAL STEEL. THESE AREAS INCLUDE, BUT ARE NOT LIMITED TO: THE CONNECTOR FRAMING, THE CONNECTOR BRIDGE, NORTH EAST CORNER ENTRANCE EXPOSED STRUCTURAL STEEL. CONNECTIONS AND PAINTING OF THESE AREAS SHALL BE TREATED AS AESS.
9. BRACING CONNECTIONS SHALL BE DESIGNED FOR VALUES SHOWN ON DESIGN DRAWINGS OR CONNECTING MEMBER CAPACITY IF NOT SHOWN. BRACING SHALL HAVE 3/8" THICK MINIMUM UNLESS NOTED OTHERWISE.
10. NO OPENINGS SHALL BE CUT IN STRUCTURAL MEMBERS UNLESS SHOWN ON THE DRAWINGS AND APPROVED BY THE ENGINEER.
11. CONTRACTOR TO VERIFY ALL CONDITIONS AND ALL DIMENSIONS PRIOR TO FABRICATION OF STEEL. NOTIFY THE ARCHITECT AND ENGINEER IMMEDIATELY IF ANY DISCREPANCIES EXIST.
12. PROVIDE TEMPORARY BRACING OF STRUCTURAL FRAMING UNTIL ALL PERMANENT BRACING, MOMENT CONNECTIONS, AND FLOOR AND ROOF DECKS (DIAPHRAGMS) ARE COMPLETELY INSTALLED.
13. ALL WELDS TO BE TYPICAL UNLESS OTHERWISE NOTED

METAL ROOF DECK NOTES:

1. ROOF AND FLOOR DECKS SHALL BE OF TYPE SHOWN ON THE CONTRACT DOCUMENTS, AND SHALL BE INSTALLED IN THREE SPAN LENGTH MINIMUM. THE DECK SHALL BE INSTALLED IN STRICT CONFORMANCE WITH THE STEEL DECK INSTITUTE RECOMMENDATIONS.
2. SUBMIT SHOP DRAWINGS AND ERECTION PLAN LOCATING EACH SECTION OF DECK AND INCLUDE LOCATION OF ALL SUPPORTS, TYPE AND LOCATION OF ACCESSORIES, DETAILS OF FASTENING, REINFORCEMENT TO BE PROVIDED, DECK PROPERTIES, AND OTHER PERTINENT INFORMATION.
3. CUT DECK SO END JOINTS WILL OCCUR ON SUPPORTING MEMBERS AND OVERLAP A MINIMUM OF 2'.